

**RECEIVED**

**Dec 30 2025**

**PLANNING DEPT**

December 22, 2025

Hendersonville Planning Department  
101 Maple Drive N  
Hendersonville, TN 37075

**Re: Mansker Creek FDP  
Add Use Application  
BC&A No. 3034-02**



Dear Hendersonville Planning,

Enclosed is a Final Development Plan (FDP) application to add a permitted use to the Mansker Creek FDP. The use to be added is "Motor Vehicle Dealership". We are submitting this application to be included on the February 3, 2026 Hendersonville Planning Commission meeting agenda. If you have any questions regarding this matter, or need additional information, please do not hesitate to call me at (615) 356-9911.

Sincerely,

A handwritten signature in blue ink that reads "Ryan Woodson".

**Ryan Woodson, P.E., CFM**  
Barge Civil Associates  
6606 Charlotte Pike, Suite 210  
Nashville, TN 37209  
615-356-9911  
rwoodson@bcacivil.com

Enclosures



City of Hendersonville Planning Department
101 Maple Drive North
Hendersonville, TN 37075
Phone (615) 264-5316
planning@hvilletn.org



FINAL DEVELOPMENT PLAN (FDP) APPLICATION

GENERAL INFORMATION

Project Name:
Project Address:
Map Group/Parcel#:
Current Zoning: Proposed Zoning: Total Acreage:
FLUTP Designation:
Existing Use: Proposed Use:
Existing Structures & Use:
Water Provider: Gas Provider:
Sewer Provider: Electric Provider:
Frontage Road: Feet of New Road:
Check all that apply: [ ] NEW FDP [ ] EXISTING FDP REVISION [ ] FDP Add-Use

COMMERCIAL/OFFICE ZONE

Land Acreage: # of Lots: Open Space Area:
Total Building Square Footage: Commercial Sq. Ft.:
Office Sq. Ft.: Other Sq. Ft. (Specify):

RESIDENTIAL ZONE

Land Acreage: # of Lots/Units:
Single Family: Multi-Family: Other (Specify):
Minimum Lot Size: Open Space Area:

CONTACT INFORMATION

Applicant:
Address:
City: State: Zip:
Phone: Email:
[ ] Contact with Project Updates (Staff Comments, markups, etc.)

Property Owner:
Address:
City: State: Zip:
Phone: Email:
[ ] Contact with Project Updates (Staff Comments, markups, etc.)

Developer:
Address:
City: State: Zip:
Phone: Email:
[ ] Contact with Project Updates (Staff Comments, markups, etc.)



# FINAL DEVELOPMENT PLAN (FDP) APPLICATION

## OFFICE USE ONLY

Project Number:	Case#:
Review Fee: \$	Date Paid:
HRPC Meeting Date/Approval:	Ordinance #:
BOMA 1 <sup>st</sup> :	Resolution #:

*HRPC Level*

*Staff Level*

## ADD-USE INFORMATION

If adding a use, list the use below:

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## REQUIRED INFORMATION

The items below are required to proceed with the review process. If the items are not provided, the project may be removed from the agenda.

- **PDF & DWG versions of ALL documents**
- **Final Development Plan Checklist with each item marked**
- **Application Fee**
- **Building Materials Sample Board**

I hereby certify that the above information is true, correct, and completed in accordance with the City of Hendersonville, TN Zoning Ordinance and that I have received, or retained, a copy of this application.

I have read and understand Chapter 3.2.8 (Successive Applications) of the Hendersonville Zoning Ordinance, which states that in the event this project is denied, a subsequent application shall not be reviewed or heard unless there is substantial new evidence available, or if a significant mistake of law or of fact affected the prior denial.

Signature of Applicant

Date

Signature of Owner

Date

*Continued Next Page*



## FINAL DEVELOPMENT PLAN (FDP) APPLICATION

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If applicant is someone other than the owner of the property or if there is more than one owner, signatures of all owners are required.

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

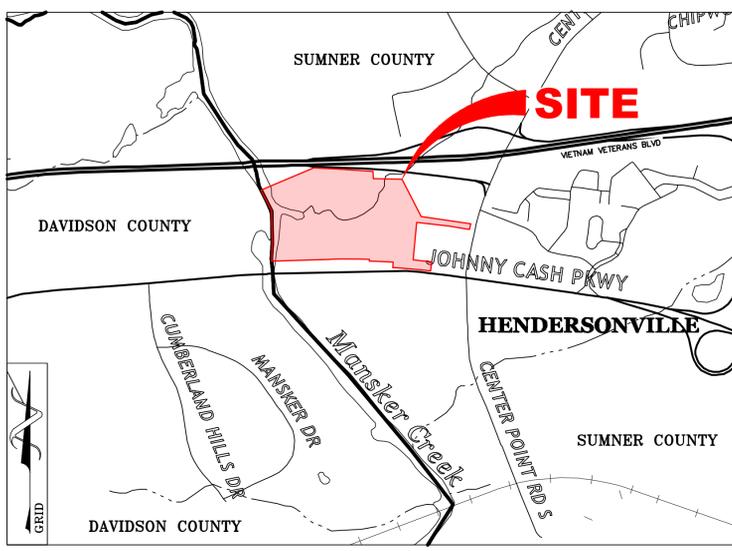
**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Property Owner:** \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_



VICINITY MAP  
NTS.

# Mansker Creek

## Amended Final Development Plan

Reference: FDP Approved 6/5/2006 / Approved Amended PDP 3/7/2006 / Approved Amended PDP 11/2/1993 / Approved Original PDP 9/8/1987

Sumner County Tax Map 161, Parcel 46  
Hendersonville, Sumner County, Tennessee

Corrected Site Plans

**RECEIVED**

Aug 20 2025

PLANNING DEPT

### Sheet Schedule

C0.0 Cover Sheet  
C1.0 Site Layout

**Approved For Construction**  
Hendersonville Fire Marshal's Office

Insurance based on the reviewed plans, may be considered as approval to proceed with the work shown, but does not alter or set aside any applicable code requirement. Such insurance shall not prevent or limit required corrections of any errors in plans, specifications or construction since requirements. The A/E reserves the right to make any necessary adjustments in an effort to meet the intent of the code requirements. The design professional for this instrument is responsible to assure that this plan complies with all adopted codes.

By: \_\_\_\_\_ Date: 08/04/2025

### Corrected FDP

This FDP has been corrected to address all staff comments per HRPC and BOMA approvals.

T. Whitten (for K. Free)

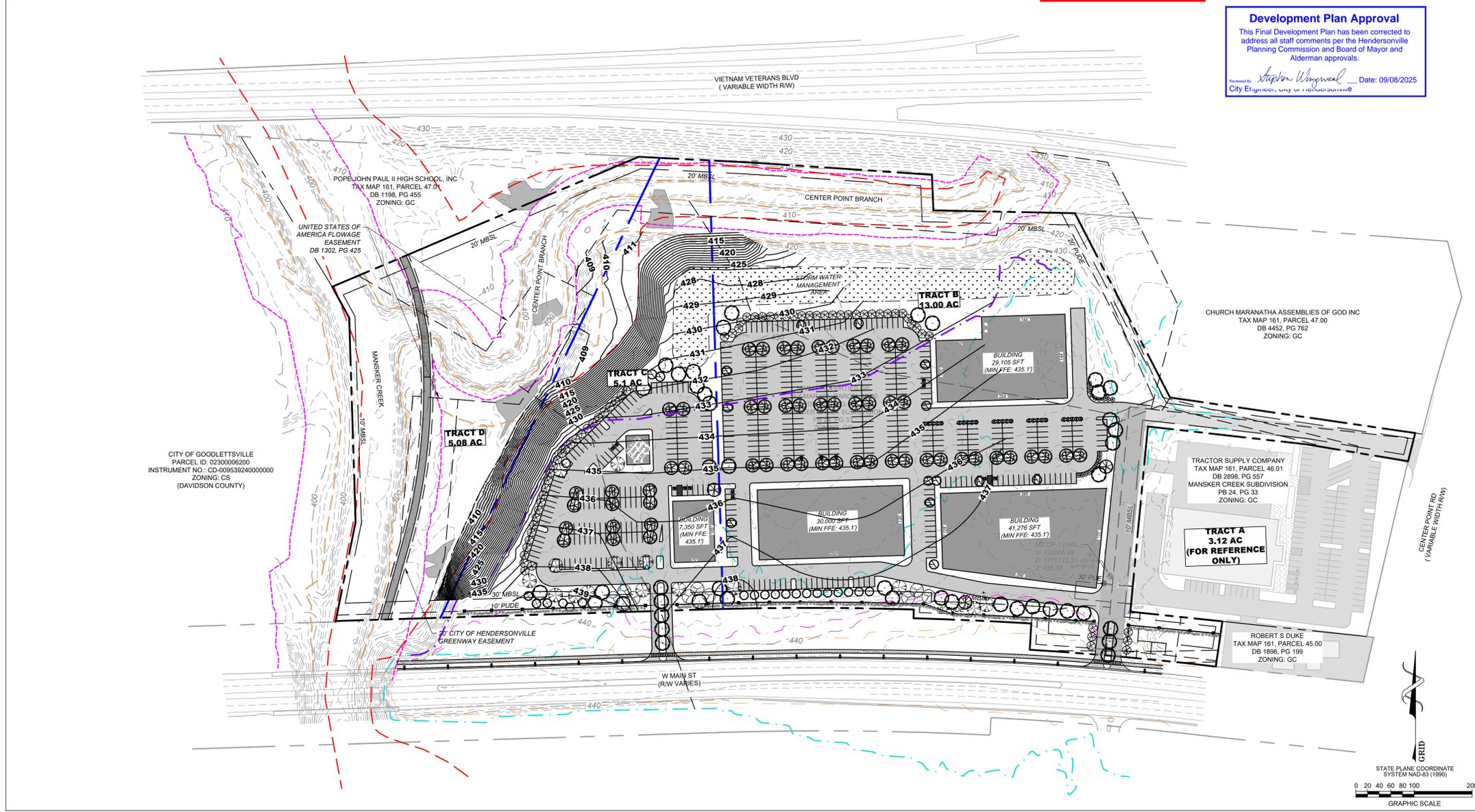
Signature of plan reviewer

**09/05/2025**

### Development Plan Approval

This Final Development Plan has been corrected to address all staff comments per the Hendersonville Planning Commission and Board of Mayor and Alderman approvals.

*Stephen Woodson* Date: 09/08/2025  
City Engineer, City of Hendersonville



SITE DATA TABLE	
MAP & PARCEL NUMBER	161 04600 00005161
EXISTING ZONING	GC-PD
SITE ACREAGE (TRACTS A)	3.12 AC; 135,725 SF
SITE ACREAGE (TRACTS B, C, D)	23.18 AC; 1,009,072 SF
PERMITTED USES (ADJUSTED TO 2025 EQUIVALENT USES)	1) Recreational Training School 2) Office 3) Retail Goods Establishment 4) Animal Hospital 5) Financial Institution 6) Funeral Home 7) General Business Services 8) Medical/Dental Clinic 9) Medical/Dental Laboratory 10) Motor Vehicle Rental Establishment 11) Personal Services Establishment 12) Research and Development Facility 13) Restaurant, Full Service & Carry Out 14) Restaurant, Quick Service 15) Farm Equipment Supplies (Tract A Only)
TOTAL PERMITTED S.F. =	190,350 SF
FEMA MAP ZONE	MAP NO. 47165C0391H, DATED FEBRUARY 26, 2021 ZONES X (LOW RISK), X (MODERATE RISK) & AE
FRONT SETBACK	30 FT
SIDE SETBACK	10 FT
REAR SETBACK	20 FT
MAX BUILDING HEIGHT	35'
TOTAL PARKING REQUIRED 4/1000 SF	530 SPACES REQUIRED; 558 PROVIDED
<b>TRACT B</b>	13.00 AC; 566,322 SF
ACREAGE IN COMMON OPEN SPACE	3.76 AC
GROSS FLOOR AREA	100,381 SF
OPEN SPACE RESERVED FOR STORMWATER MANAGEMENT AREA	0.87 AC
OPEN SPACE RESERVED FOR WATER QUALITY BUFFER	0.95 AC
MAX. LOT COVERAGE OF ALL BUILDINGS	0.65 ALLOWED/0.18 SHOWN
IMPERVIOUS SURFACE RATIO	0.80 ALLOWED/0.50 SHOWN
BUILDING HEIGHT	MAX. 35'
ESTIMATED PARKING REQUIRED	1 STALL PER 250 S.F. = 402 SPACES
PARKING PROVIDED	409 SPACES PROVIDED W/ 9 ACCESSIBLE
<b>TRACT C</b>	5.08 AC; 221,380 SF
ACREAGE IN COMMON OPEN SPACE	2.56 AC
GROSS FLOOR AREA	9,350 SF
OPEN SPACE RESERVED FOR STORMWATER MANAGEMENT AREA	0.24 AC
OPEN SPACE RESERVED FOR WATER QUALITY BUFFER	0.25 AC
MAX. LOT COVERAGE OF ALL BUILDINGS	0.65 ALLOWED/0.04 SHOWN
IMPERVIOUS SURFACE RATIO	0.80 ALLOWED/0.34 SHOWN
BUILDING HEIGHT	MAX. 35'
ESTIMATED PARKING REQUIRED	1 STALL PER 250 S.F. = 36 SPACES
PARKING PROVIDED	149 SPACES PROVIDED W/ 5 ACCESSIBLE
<b>TRACT D</b>	5.08 AC; 221,370 SF
ACREAGE IN COMMON OPEN SPACE	5.08 AC
OPEN SPACE RESERVED FOR STORMWATER MANAGEMENT AREA	N/A
OPEN SPACE RESERVED FOR WATER QUALITY BUFFER	3.15 AC
GROSS FLOOR AREA	N/A
MAX. LOT COVERAGE OF ALL BUILDINGS	N/A
IMPERVIOUS SURFACE RATIO	N/A
BUILDING HEIGHT	N/A
ESTIMATED PARKING REQUIRED	N/A
PARKING PROVIDED	N/A

**FEMA DATA FOR PROJECT LOCATION:**  
 FEMA FLOOD ZONE: "AE"  
 FEMA MAP PANEL NUMBER: 47165C0391H  
 FEMA MAP EFFECTIVE DATE: FEBRUARY 26, 2021  
 DATUM = NAVD 1988.

**DEVELOPER/OWNER INFORMATION:**  
 NAME: MARJ PROPERTIES, LLC  
 ADDRESS: 287 FREE HILL ROAD  
 HENDERSONVILLE, TN, 37075  
 CONTACT EMAIL: JBRYAN@MGMINDUSTRIES.COM

**CIVIL ENGINEER: RYAN WOODSON**  
 COMPANY NAME: BARGE CIVIL ASSOCIATES  
 COMPANY ADDRESS: 6606 CHARLOTTE PIKE, SUITE 210  
 NASHVILLE, TN 37209  
 COMPANY PHONE: 615.356.9911  
 CONTACT EMAIL: RWOODSON@BCACIVIL.COM

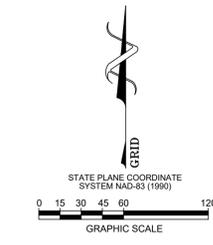
**NOTE:**  
 \* SINCE NO SPECIFIC USE IS DEFINED WITH THIS AMENDED FDP, ANY FUTURE USES SHALL PROVIDE THE REQUIRED NUMBER OF PARKING SPACES PER THE ZONING ORDINANCE GUIDELINES FOR THAT SPECIFIC USE.



**COVER SHEET**  
**MANSKER CREEK**  
**1220 CENTER POINT ROAD**  
**NASHVILLE, TN, 37075**

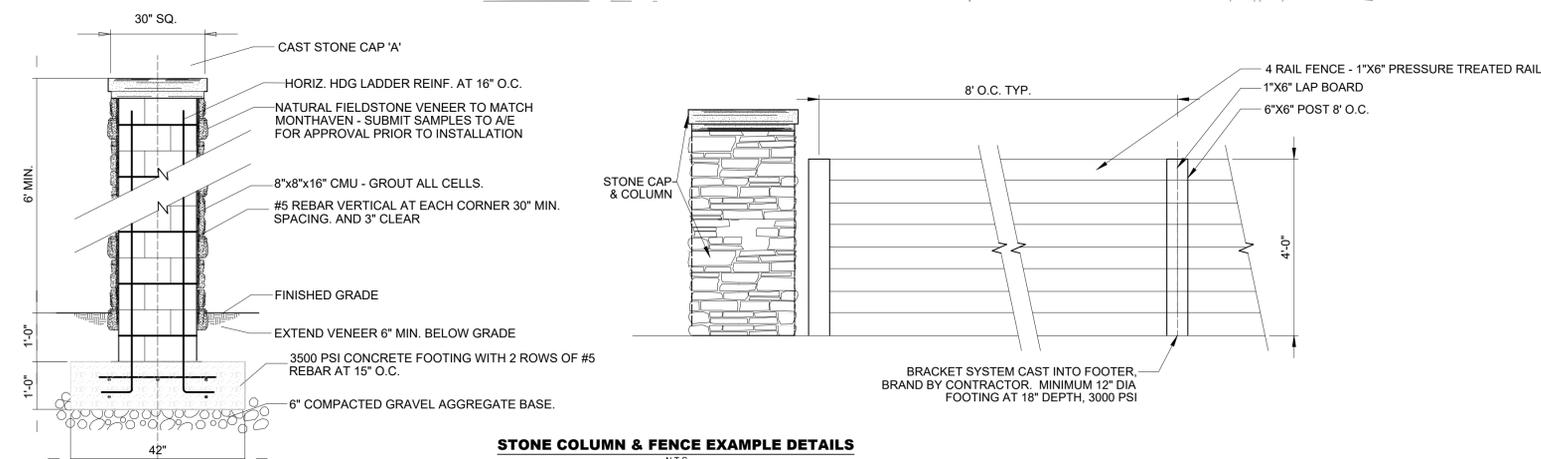
DATE	DESCRIPTION
5/27/2025	FINAL DEVELOPMENT PLAN SUBMITTAL
6/18/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
6/27/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
7/22/2025	LAND DISTURBANCE PERMIT SUBMITTAL
7/23/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
8/15/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL

**C0.0**  
 BCA JOB NO. 3034-02



**SITE LAYOUT**  
**MANSKER CREEK**  
**1220 CENTER POINT ROAD**  
**NASHVILLE, TN, 37075**

- NOTES:**
- ALL BUILDING EXTERIORS WILL BE DESIGNED TO EXCEED THE DESIGN STANDARDS FOR COMMERCIAL BUILDINGS. THE MAJORITY OF EXTERIOR OF ALL BUILDINGS SHALL BE COMPRISED OF BRICK OR STONE. NO BAY DOORS WILL FACE WEST MAIN STREET.
  - SIDEWALKS, DECORATIVE STREET LIGHTS & DECORATIVE FENCING AND COLUMNS ALONG WEST MAIN STREET SHALL BE INSTALLED WITH THE FIRST DEVELOPMENT OF PHASE II (TRACTS B, C, D). FINAL DESIGN AND LAYOUT OF FENCE, COLUMNS, AND STREETLIGHTS (INCLUDING PHOTOMETRIC PLAN) TO BE PROVIDED WITH FUTURE SITE PLAN SUBMITTAL.
  - LANDSCAPING PLAN TO BE PROVIDED WITH FUTURE SITE PLAN SUBMITTAL. LANDSCAPING TO MEET CITY OF HENDERSONVILLE STANDARDS AT TIME OF APPLICATION.
  - PERMITTING WITH TDOT, INCLUDING CONCEPT APPROVAL, WILL BE REQUIRED FOR MODIFICATIONS WITHIN W MAIN ST ROW (I.E. DRIVEWAYS, SIDEWALK, CURB AND GUTTER, ETC.). POTENTIAL GUARDRAIL REMOVAL AND OTHER PERMITTING TO BE COORDINATED WITH CITY OF HENDERSONVILLE AND TDOT WITH FUTURE SITE PLAN SUBMITTAL.
  - 12' WIDE MULTIUSE PATHWAY (INCLUDING NEEDED BRIDGE) MAY BE REQUIRED TO BE CONSTRUCTED WITHIN 20' CITY OF HENDERSONVILLE GREENWAY EASEMENT WITH THE FIRST DEVELOPMENT WITHIN PHASE II (TRACTS B, C, D). ANY WORK WITHIN THE FLOODWAY WILL REQUIRE A CLOSMR OR NO-RISE FROM FEMA.
  - A TRAFFIC IMPACT STUDY MAY BE REQUIRED WITH FUTURE SITE PLAN SUBMITTAL. ONCE SPECIFIC USES ARE IDENTIFIED, REQUIREMENTS AND SCOPE OF TRAFFIC IMPACT STUDY TO BE COORDINATED WITH CITY OF HENDERSONVILLE.



**LEGEND**

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	FLOODWAY
---	EXISTING 100-YR FLOODPLAIN
---	PROPOSED 100-YR FLOODPLAIN
---	EXISTING 500-YR FLOODPLAIN
---	PROPOSED 500-YR FLOODPLAIN
---	TOP OF STREAM BANK
---	TEMPORARY AND PERMANENT WATER QUALITY BUFFER*

\*NOTE: WATER QUALITY BUFFERS FOR MANSKER CREEK ARE 60'. AVERAGE WATER QUALITY BUFFERS FOR CENTER POINT BRANCH ARE 30'. AVERAGE.



DATE	DESCRIPTION
5/27/2025	FINAL DEVELOPMENT PLAN SUBMITTAL
6/18/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
6/27/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
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7/23/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL
8/15/2025	FINAL DEVELOPMENT PLAN RESUBMITTAL

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