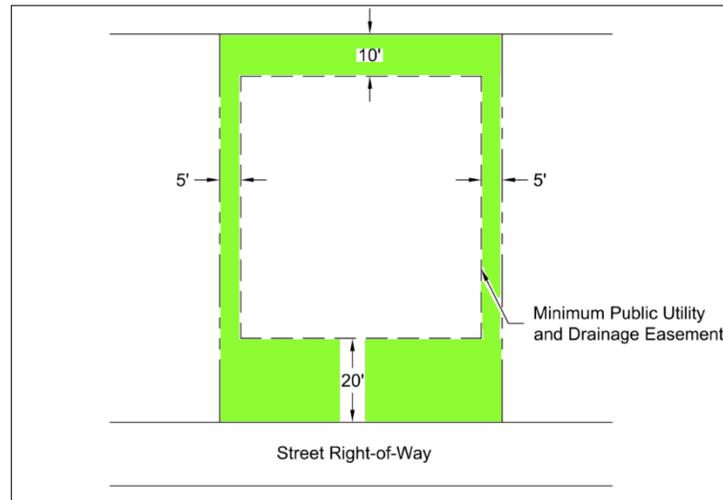




## Public Utility & Drainage Easement (PUDE)

Protecting Your Property, Protecting Our Community

### ***What You Need to Know About Public Utility & Drainage Easements (PUDEs)***



#### What is a PUDE?

A Public Utility & Drainage Easement (PUDE) is a designated area on your property reserved for utilities (electric, gas, water, sewer, internet) and for stormwater drainage. PUDEs are recorded on your property plat and are a permanent legal right for the city or utility companies. They are usually located along property lines, side yards, rear yards, or at the front of lots.

#### Why Protecting PUDEs Matters

##### Access

- Utility companies and the city must be able to access this space for repairs, maintenance, or upgrades.

##### Drainage

- PUDEs prevent flooding by allowing stormwater to flow properly through ditches, swales, or underground pipes. It is important to note that PUDEs do not obligate the city to provide drainage improvements if it is determined that the responsibility lies with the private property owner.

##### Community Protection

- A blocked PUDE can cause damage to your property and your neighbors' (e.g., flooding or utility outages). The PUDE provides access so the city can ensure that stormwater is managed properly, either publicly or privately.



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### What Homeowners & HOAs Need to Know

#### Do NOT Build or Place in a PUDE:

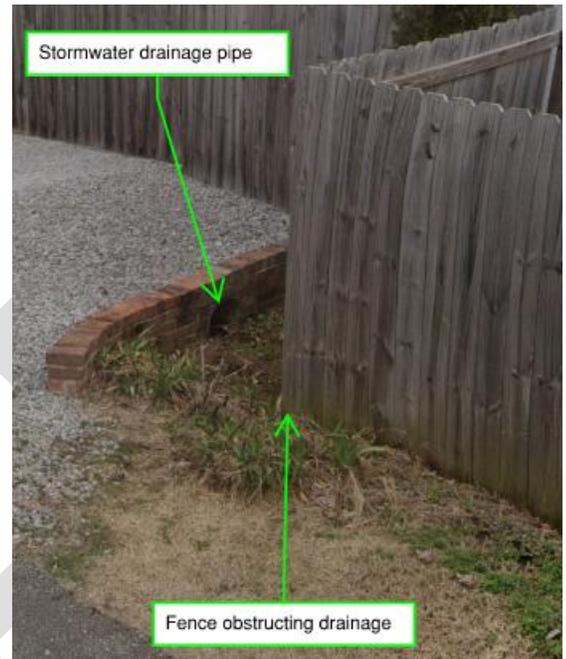
- Permanent structures (sheds, garages, patios, decks)
- Fences that block access and/or drainage
- Retaining walls
- Pools or permanent landscaping features

#### Use Caution With:

- Trees or shrubs with deep roots (may damage pipes)
- Heavy landscaping that changes drainage patterns

#### Allowed Uses:

- Grass, shallow-root landscaping, gardens (that can be removed if access is needed)
- Temporary items (play sets, small movable structures)



### Frequently Asked Questions

#### Q: What happens if I build in a PUDE?

A: The city or utility company may remove the obstruction without compensation if it blocks access or drainage.

#### Q: Can I get a PUDE released or relocated?

A: Rarely. Easements are permanent. Only in special cases (and with city/legal approval) can they be modified.

#### Q: Why can't I just drain my water differently?

A: Drainage patterns are generally engineered for the whole subdivision. Changing yours can cause flooding on neighboring properties.

#### Q: Who is responsible for maintaining the PUDE?

A: Generally, the property owner is responsible for maintenance of the PUDE.

### Contact & Resources

- Call 615-822-1016 with questions about PUDEs
- Visit <https://www.hvilletn.org/248/Subdivision-Regulations> for additional guidance on Public Utility & Drainage Easements.
- Visit <https://www.hvilletn.org/462/Stormwater-System-Maintenance-Policies> for maintenance policies.

### Reminder

PUDEs protect your home, your neighbors, and your community. Always check your plat and consult the city or your HOA before building near an easement.